

DEVELOPMENT REVIEW BOARD REPORT



MEETING DATE: July 10, 2003

ITEM NO. _____ GOAL: Coordinate Planning to Balance Infrastructure

SUBJECT **Boulders Preliminary Plat**

REQUEST Request to approve preliminary plat for seven residential lots with amended development standards on an 9-acre parcel
14-PP-2003

Key Items for Consideration:

- Conformance to approved zoning
- Infrastructure improvements and sewer line extensions by the developer
- Boulder outcroppings and dense vegetation will be preserved

OWNER Justin Lurie

APPLICANT CONTACT Mirage Investments
C/O Barry Markham
3533 N. 70th Street, Suite 103
Scottsdale, Arizona 85251
602-577-3521

LOCATION Southeast corner of Black Mountain & Hayden Roads

BACKGROUND **Zoning.**
The site is zoned R1-43 ESL zoning district allows for single family-residential on lots of 43,00 square feet or more.

Context.

This subdivision is located on the southeast corner of Hayden Road and Black Mountain Road alignments. The surrounding property is zoned residential district (R1-43 ESL) north, east, and south of the site, and single family residential planned community development (R1-18 PCD ESL) to the west of the site.

APPLICANT'S **Goal/Purpose of Request.**

PROPOSAL

This proposal is for a preliminary plat approval for 7 residential lots on an approximate 9.81 gross acre site. The site is zoned R1-43 ESL (Residential) district with proposed lot sizes that range from 0.99 to 1.24 acres. Access to the site will be from Hayden Road through a gated private drive. The lots will have legal access from the internal private drive ending in a cul de sac.

Key Issues.

- Access to this site will be from Hayden Road only; access will be restricted along the north property boundary (Black Mountain Road), and the eastern property boundary (81st Street) full property frontage.
- Construction of water and sewer line connections.
- The new Trails Master Plan has no trail requirements adjacent to this property.
- Applicant has applied to abandon the south 15 feet of the south 40 feet of Black Mountain Road, and the west 20 feet of the west 40 feet of 81st Street. The abandonment has been approved at the Planning Commission.
- **A total of 3.2 acres of NAOS is required and provided.**

IMPACT ANALYSIS**Traffic.**

The proposed residential development fronts two local collector streets: Hayden Road and Black Mountain Road. Access will be provided on Hayden Road to avoid a major Rock Outcropping and heavily vegetated areas along 81st Street. A 25-foot half-street right of way dedication is required on each. There is an abandonment application in process. 6-AB-2003. The applicants are required to construct one half of Black Mountain Road from Hayden to 81st Street, and 81st Street full property frontage. No adverse traffic implications are anticipated.

Water/Sewer.

Construction of an 8-inch sewer line along Black Mountain Road full property frontage, and residential water and sewer connections will be provided with this application.

Police/Fire.

The proposal has been reviewed by Rural Metro and meets the specifications and requirements.

Schools.

Cave Creek Unified School District has been notified of this application and has indicated the District has no objection to this proposal.

Open space/Scenic Corridors.

The area contains a slope range of 0% to 25% with the average slope of 2% to 5%. A total of 3.2 acres of NAOS is required and provided by the applicant. The NAOS will be provided along the perimeter of the property. A portion of the NAOS will be provided within a Tract along the property perimeter and the majority will be dedicated on each lot. There is a boulder outcropping along the east side of the property along 81st Street that will be included within the NAOS for preservation.

Community Involvement.

The applicant held a public open house on May 22, 2003 regarding the plat and the associate abandonment. Sixteen residents attended the meeting.

Comments related to this proposal recommended that access be off of Black Mountain Road or 81st Street rather than Hayden Road. Two property owners suggested that staff require half street improvements, including the paving of 81st Street.

Property owners noted that areas along 81st Street that contained rock outcroppings and heavily vegetated areas should be included within the NAOS.

Other Boards and Commissions.

Request for abandonment 6-AB-2003, approved through Planning Commission on June 10, 2003.

**STAFF
RECOMMENDATION****Recommended Approach:**

Staff recommends approval, subject to the attached stipulations.

**RESPONSIBLE
DEPT(S)**

Planning and Development Services Department
Current Planning Services

STAFF CONTACT(S)

Greg Williams
Senior Planner
480-312-4205
E-mail: gwilliams@ScottsdaleAZ.gov

APPROVED BY

Greg Williams
Report Author

ATTACHMENTS

1. Applicant's Narrative
2. Context Aerial
- 2A. Aerial Close-Up
3. Zoning Map
4. Context Photos
5. Preliminary Plat/Site Plan
6. Context Aerial with Site Plan
7. Landscape Plan
8. Elevations/Planting
9. Hardscape/Details
- A. Stipulations
- B. Ordinance Requirements

PROJECT NARRATIVE

The property is located at the SEC of Hayden Rd. and Black Mountain Rd. The property is 8.079 net acres, is zoned R1-43, is reasonably well vegetated and contains rock out-croppings and boulders (all are less than 20-feet in height). There are no severe slopes. The property gently rises from the NWC to the SEC (about 7-feet). There are no jurisdiction washes.

Description of Proposed Subdivision:

- Entrance is in the center of the frontage to Hayden Rd.
- Proposed subdivision is for 7-lots on a cul-de-sac that is to be a private gated street. An entry feature will be constructed with landscaping.
- An outside perimeter 5-foot wide tract will abut Hayden Rd., Black Mountain Rd., and N. 81st Street. This tract will be owned by the HOA, be encumbered with a 1-foot wide "No-Vehicle Crossing" easement, and will be designated as NAOS (together with portions of the rear of abutting lots). The objective of having the outside tract abutting these streets is to have all lots fronting only to the interior cul-de-sac (no corner lots, no lots with two or more frontages). The objective is to create a private enclave.
- NAOS is to be located on the outside perimeter of the property. On the boundaries abutting Hayden Rd. and N. 81st Street the NAOS will be 20-feet wide. On the boundary abutting Black Mountain Rd. the NAOS is 83-feet wide; on the south boundary the NAOS is 96-feet wide. A boulder outcropping on the west-side of the property will be included in the NAOS area. NAOS provided is 139,244 square feet, 3.2-acres, or 39.5% of the net property area.
- Sparsely vegetated areas, including portions gained by r-o-w abandonment are proposed to be re-vegetated using plants that are located in the cul-de-sac and portions of the building area of lots. Such transplanting is subject to the health and suitability of the vegetation and the potential for the plants to survive in the new location as determined by a city approved salvage contractor.
- The lots will be sold for custom homes. We expect the custom-homes of 3,200 to 4,000+ sf and have values in excess of \$800,000.
- Lot widths are 150 feet or more at the measured building line (to accommodate a building width of 95-100 feet) with depths of 270 to 300 feet.
- Inside the NAOS area and on the lots, a 42-inch high decorative perimeter wall is proposed, stucco finish, earth tones, (similar walls are on adjacent property north and west). On top of these walls wrought iron may be added to meet pool security fence requirements. The wall will have breaks where it meets large boulders, (large boulders will not be removed to accommodate the proposed wall).
- The subdivision will have CC&R's and Architectural Design Guidelines that will address architectural design requirements for new homes, additions, maintenance, and parking.
- A Homeowners Association will be formed. All property owners will be required to be members and will be assessed fees. The Homeowners Association will maintain the private road, drainage, gates, entry feature, and landscaping as well as administer the CC&R's and architectural guidelines.

ATTACHMENT #1

Notable Features Proposed:

Less Density:

- Subdivision application is for seven lots, one less than the maximum city ordinances would allow for.
- Amended standards are not requested.

Environmentally Friendly Land Plan:

- Subdivision plan is the result of careful consideration of the property's terrain, rock/boulders, and vegetation. Lot lines have been adjusted to accommodate preservation of boulders and vegetation in original locations.

Outside Perimeter Tract Abutting Hayden Rd., Black Mountain Rd., and N. 81st Street. With 1-foot wide "No Vehicle Crossing" Easement:

- On the outside perimeter of the property a five (5)-foot wide tract is being created. This tract is to be owned by the HOA and encumbered with a 1-foot wide "No Vehicle Crossing" easement. This tract will be designated as part of the NAOS for the subdivision. The intent of this tract is to have the frontage for all lots to the interior cul-de-sac and eliminate double frontage lots. The objective is to create an enclave.

Natural Area Open Space: 139,244 sf; 3.2-acres; 39.5% of net property area

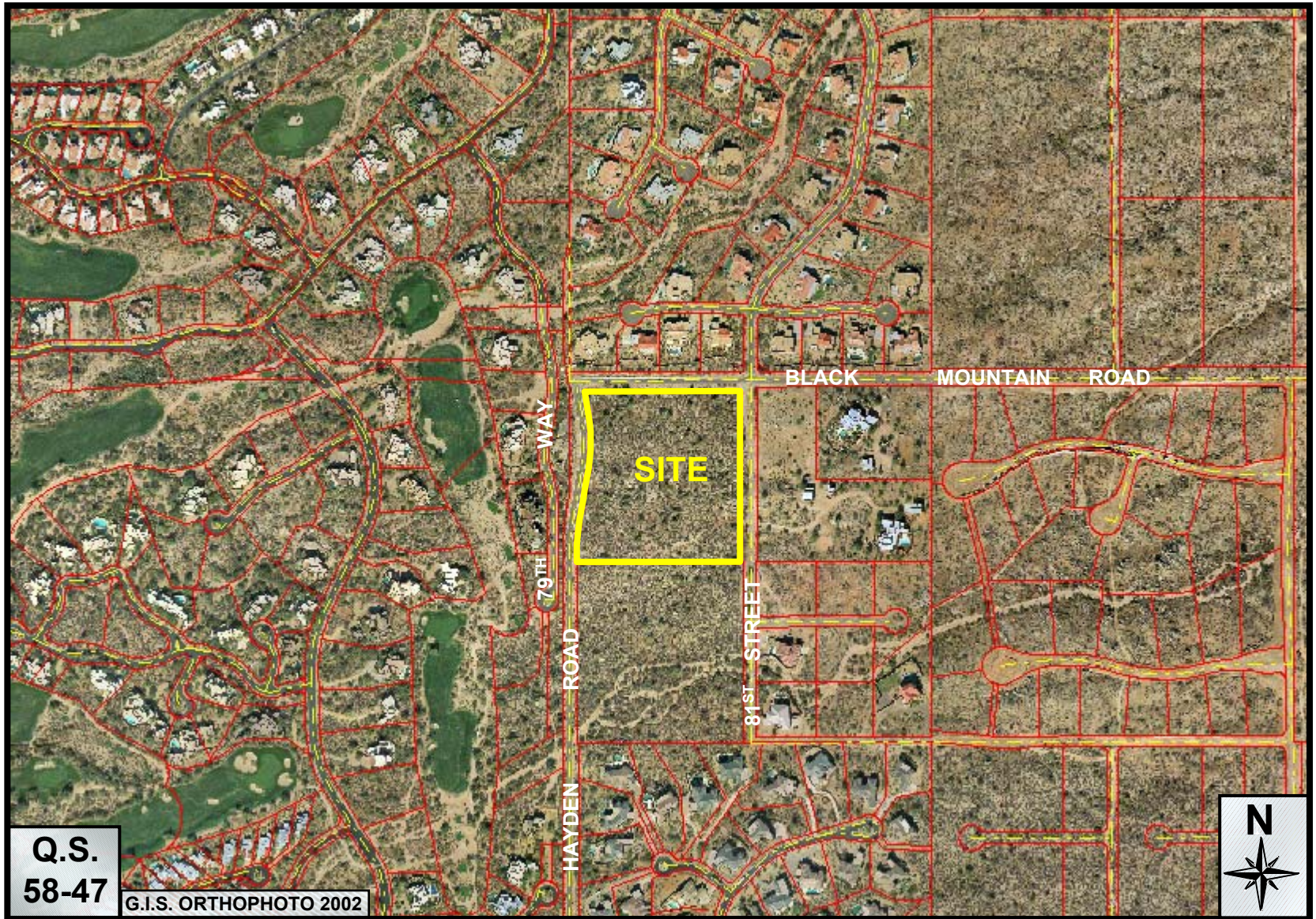
- NAOS has been located on the outside perimeter of the property thereby providing continuous and contiguous NAOS in meaningful widths of 20 to 95 feet.
- NAOS encompasses many boulders thereby preserving their natural condition and the vegetation that is attached to or surrounding such boulders.
- Providing the NAOS area on the outside perimeter of the property maintains the existing appearance on Hayden Rd., Black Mountain Rd., and N. 81st Street consistent with the existing surroundings and already established neighborhood.

Desert Landscape for Minimal Entry Feature:

- Entry feature is set back from the street and will be landscaped with desert plants.
- Entry feature is designed to provide ample visibility for vehicles exiting to Hayden Rd.
- Entry feature is minimal thereby maintaining the natural streetscape (minus weeds).

Perimeter Wall:

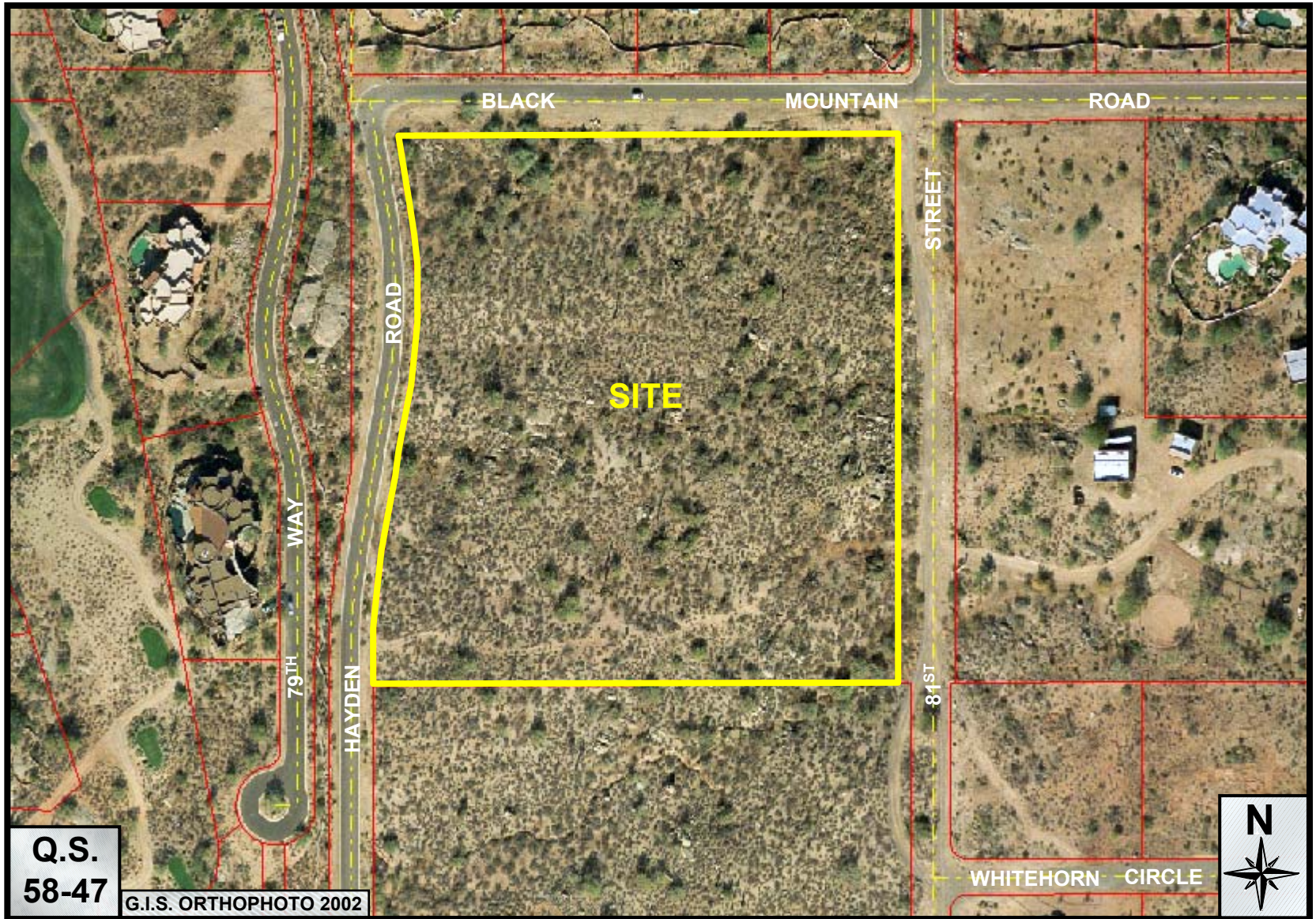
- A wall is proposed for the perimeter of the building area of the lots. This wall is 42-inches tall. The wall is on the inside of a significant NAOS area.
- The low wall is proposed by the developer because it is generally known that homeowners will want or need a wall/fence of some sort around their yards for privacy and/or pool security requirements. It is desirable to have this wall be of consistent height, materials, and color, therefore it is desirable for the wall's construction to be undertaken on all lots at the same time, by the same contractor, using the same materials. There is also a benefit of less disruption to vegetation when the wall is constructed in its entirety at the outset of property's development.
- The wall will be essentially invisible from the adjacent streets.
 - Hayden Rd.: Wall is more than 30 feet from the edge of the pavement and is behind re-vegetated drainage and NAOS area.
 - Black Mountain Rd.: Wall is more than 110 feet from the edge of the pavement and is behind NAOS area.
 - N. 81st Street: wall is 30+ feet from the edge of the road and behind highly vegetated NAOS. The wall will not be continuous due to breaks for existing boulder outcroppings. The breaks encompass about 300-feet of a 620-foot frontage.



Boulders

14-PP-2003

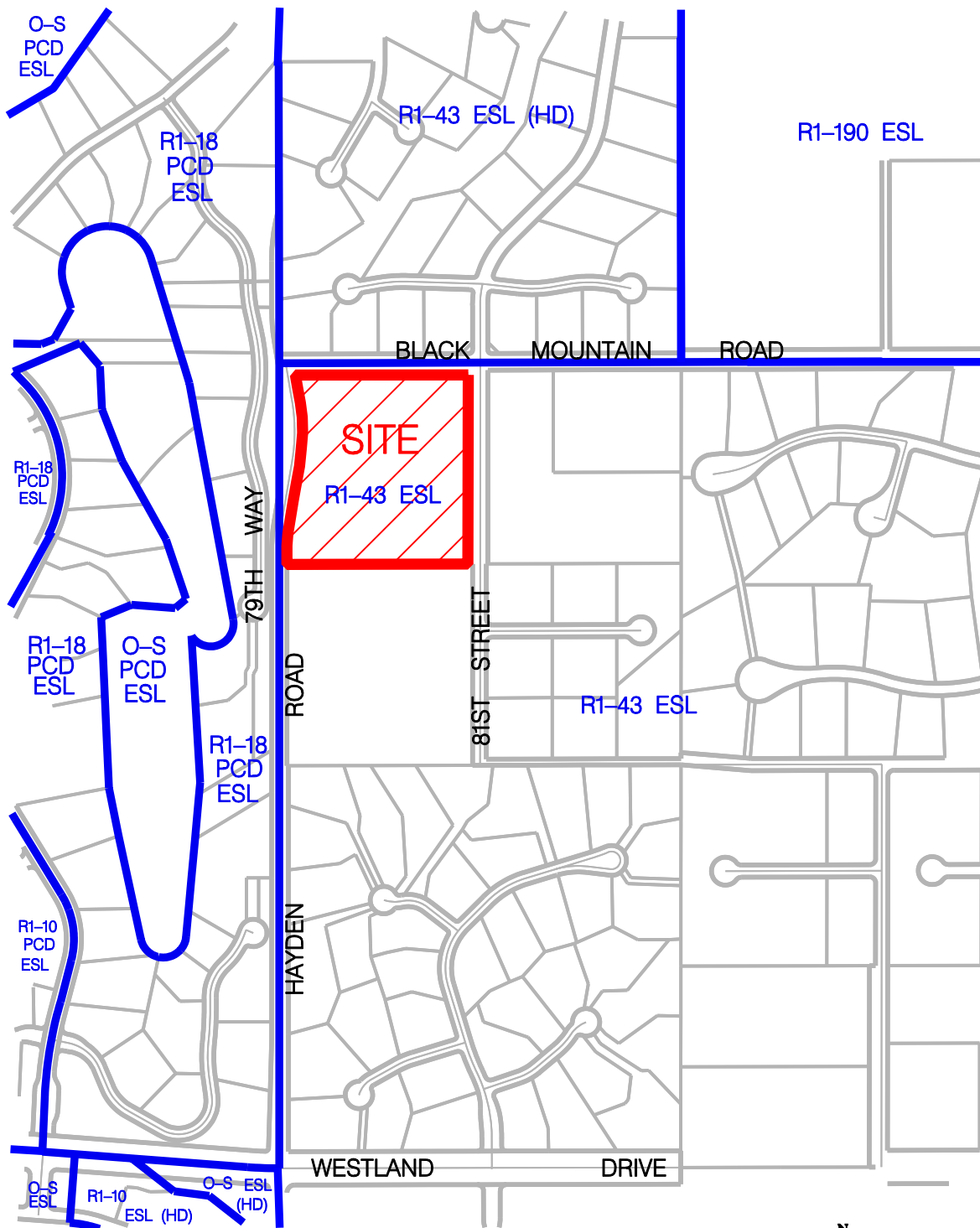
ATTACHMENT #2



Boulders

14-PP-2003

ATTACHMENT #2A



14-PP-2003
ATTACHMENT #3

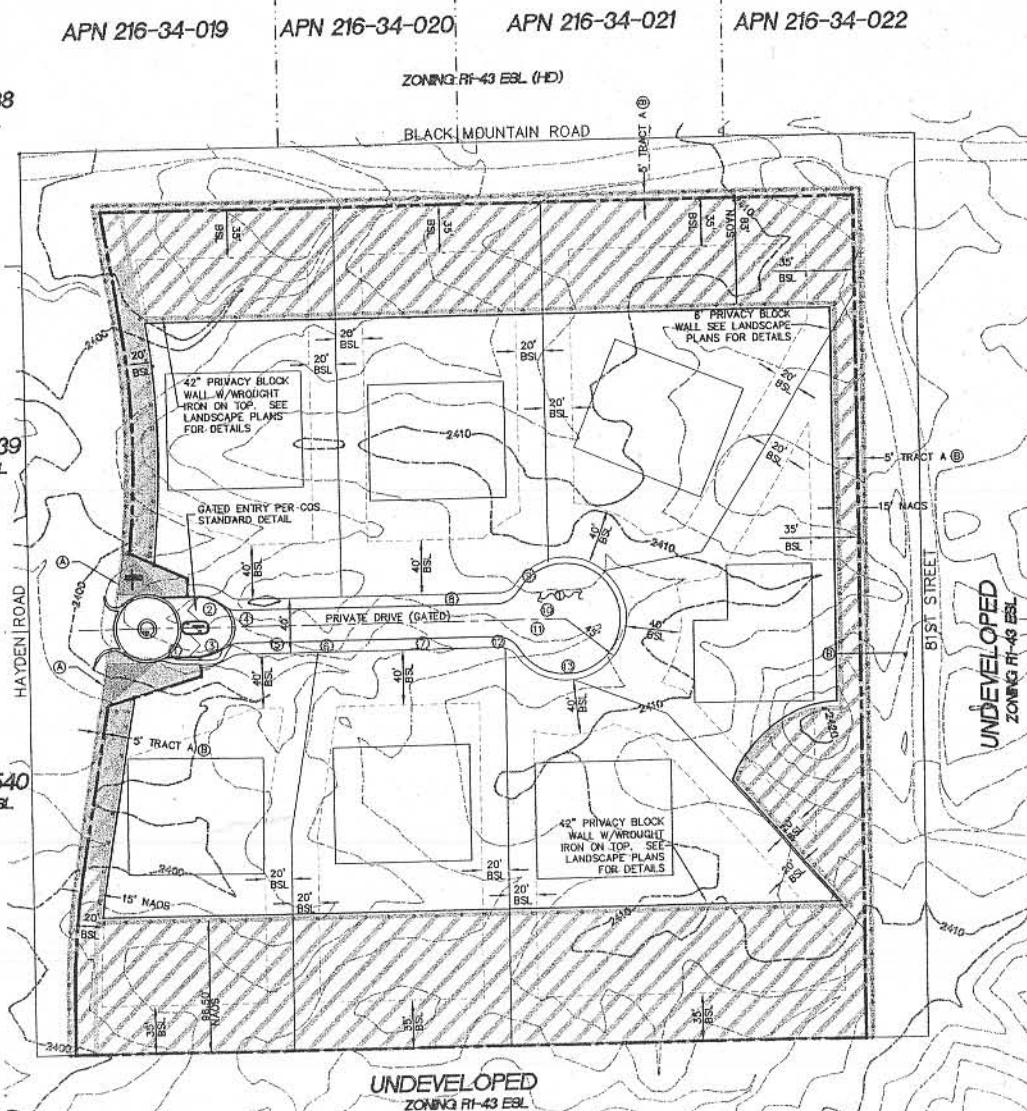


APN 216-48-538
ZONING RI-18 PCD ESL

APN 216-48-539
ZONING RI-18 PCD ESL

APN 216-48-540
ZONING RI-18 PCD ESL

ATTACHMENT #5

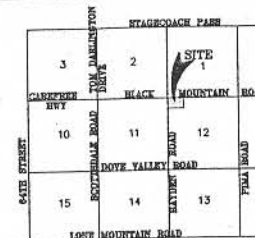
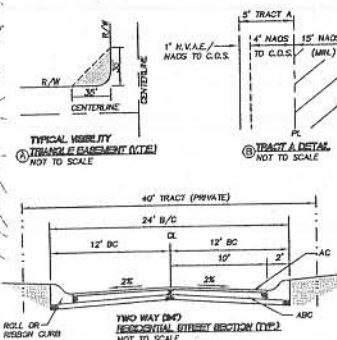


BENCHMARK

Q.O. BC, 1019, DOWN 1.5' 10.41 W OF
BACK OF CURB AT THIS NW CORNER
OF SEC. 12, T. 5 N., R. 4 E. CITY OF
SCOTTSDALE, NAVD 88 ELEV. 2400.113

GENERAL NOTE

1. 8-FT PUBLIC UTILITY EASEMENT WILL BE PROVIDED ON BOTH SIDES OF THE STREETS.
2. ALL STREETS ARE PRIVATE.
3. ALL STREETS AND TRACTS SHALL BE MAINTAINED BY IN ACCORDANCE WITH APPLICABLE RECORDED RESTRICTIONS AND STIPULATIONS.
4. PROPOSED BOUNDARY SUBJECT TO CLIENT APPROVAL.
5. CUL-DE-SAC PER CITY OF SCOTTSDALE SECTION 3.1 FIGURE 3.1-24
6. GATED ENTRY MINIMUM REQUIREMENT PER C.O.S. SECTION 8.1 FIGURE 8.1-1
7. DESIGNATED RETENTION AREA IS PRELIMINARY AND SUBJECT TO CLIENT APPROVAL.
8. NACS CONFIGURATIONS ARE PRELIMINARY AND SUBJECT TO CLIENT APPROVAL.
9. REFER TO SLOPE ANALYSIS EXHIBIT FOR NACS CALCULATION.



VICINITY MAP
N.T.S.

LEGEND

- PROPOSED CONTOUR
- EXISTING CONTOUR 5'
- EXISTING CONTOUR 1'
- PROPOSED BOUNDARY
- EXISTING PROPERTY LINE
- ON SITE OPEN SPACE (NACS)
- DESIGNATED RETENTION AREA (0.32 AC-FT)

KEYNOTE

- ① ASPHALT PAVING
- ② APPROXIMATE LOCATION OF NATIVE PLANT PER PLANT SALVAGE INVENTORY BY NATIVE ARIZONA LANDSCAPES, INC. DATED 4-24-03

SITE DATA

G.S. 58-47
APN 216-47-D12A
EXISTING ZONING = RI-43 ESL
GROSS AREA = 9.81 AC
NET AREA = 7.80 AC
NUMBER OF RESIDENTIAL UNITS = 7
APPROX. DENSITY = 1 UNIT/AC
NACS REQUIRED = 139148 SF
NACS PROVIDED = 138244 SF

UTILITY PROVIDER
SEWER CITY OF SCOTTSDALE
WATER CITY OF SCOTTSDALE
FIRE RURAL METRO
ELEC. ARIZONA PUBLIC SERVICE
TELE. U.S. WEST
CABLE COX CABLE
GAS SOUTHWEST GAS



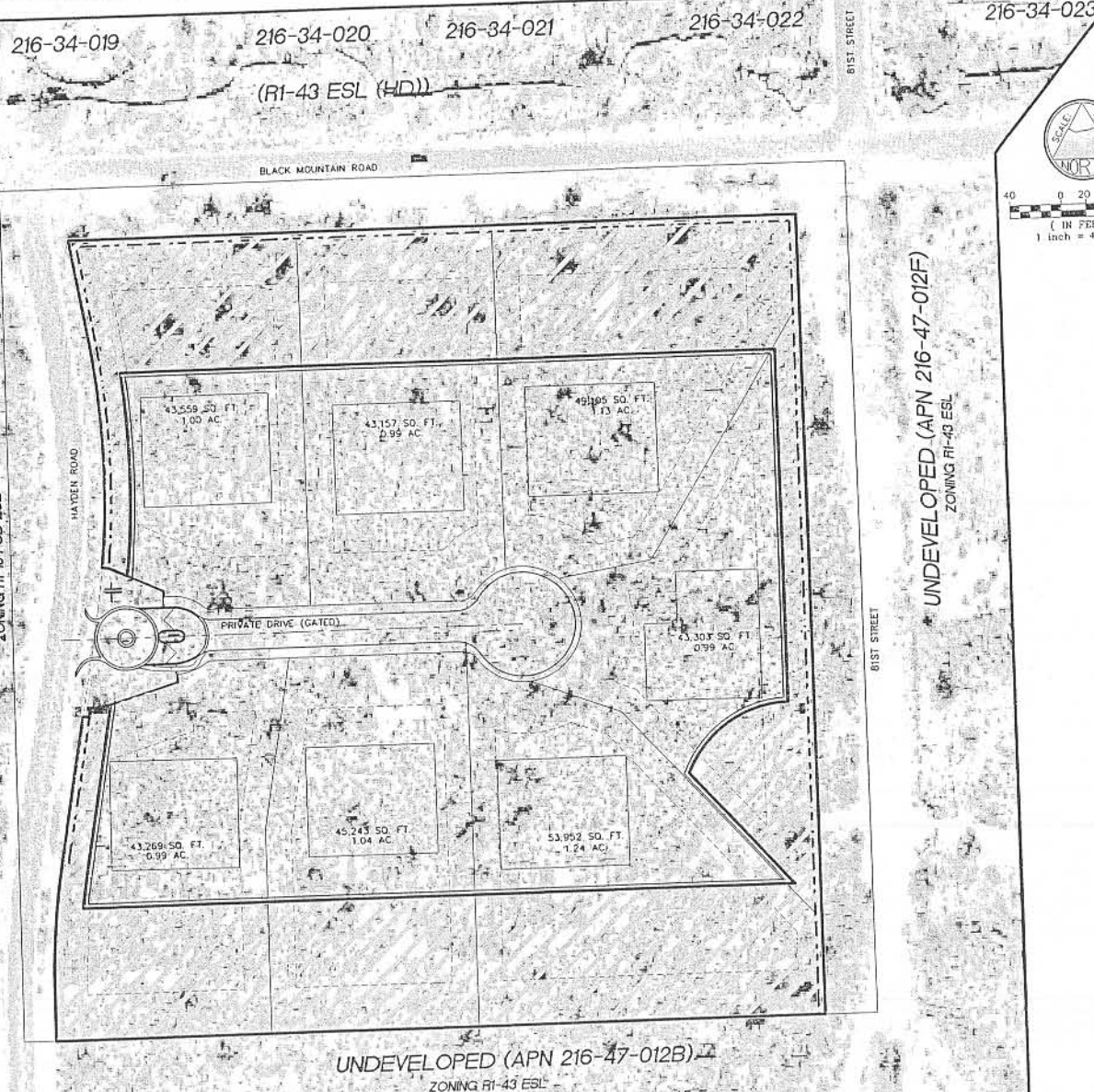
THE BOULDERS
8 ACRE SITE
PRELIMINARY
SITE PLAN
14-PP-2003
06/19/2003

APN 216-48-538
ZONING RI-18 PCD ESL

APN 216-48-539
ZONING RI-18 PCD ESL

APN 216-48-540
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APN 216-48-545
ZONING RI-18 PCD ESL



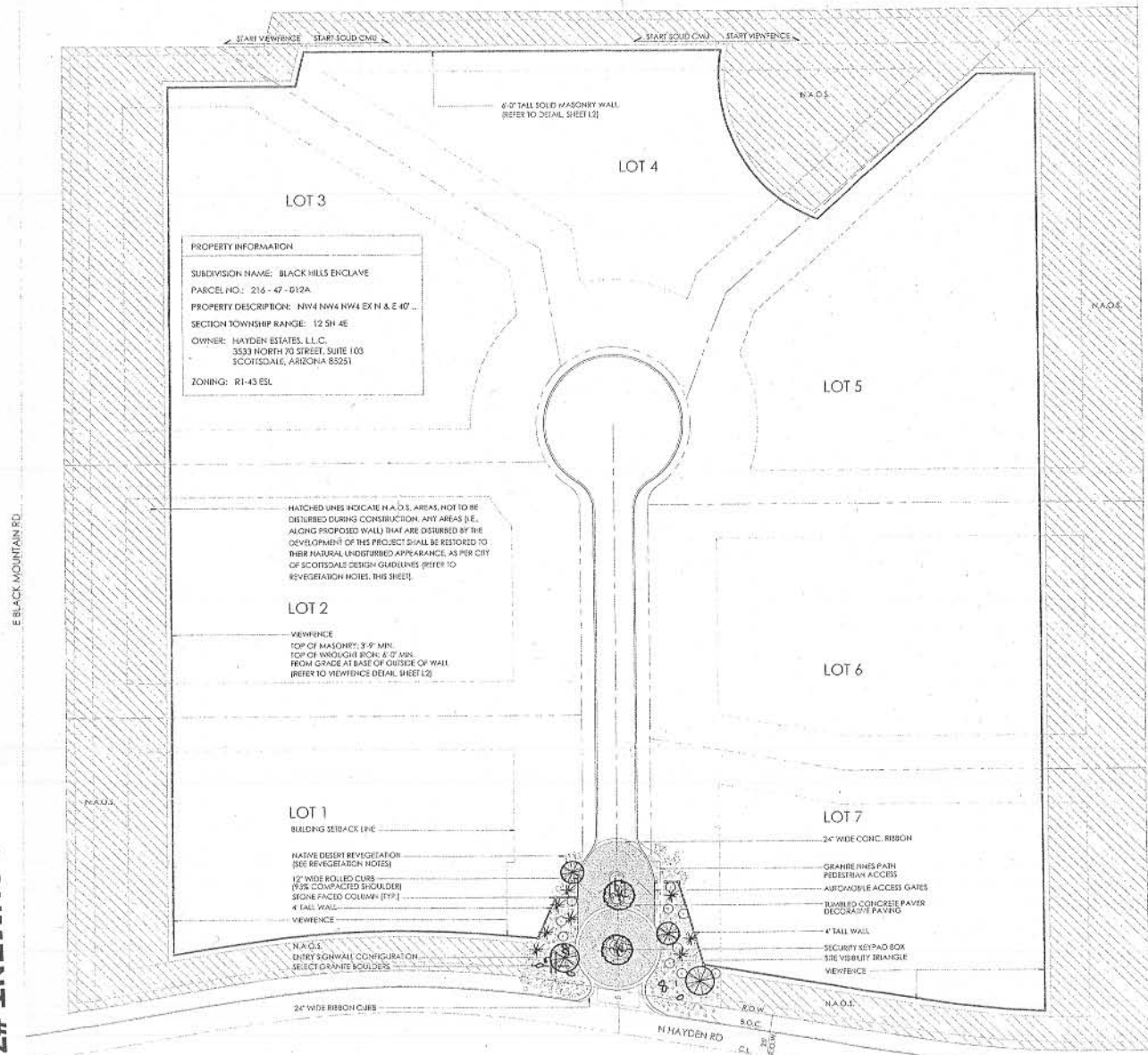
VICINITY MAP
K.T.S.

- LEGEND**
- PROPOSED NVAE
 - - - PROPOSED EASEMENT
 - - - PROPOSED BUILDING SETBACK
 - - - PROPOSED BOUNDARY
 - - - PROPOSED LOT LINE
 - - - PROPOSED CENTERLINE
 - /// NACS

PRIMAS AND ASSOCIATES
CONSULTING ENGINEERS

THE BOULDERS
8 ACRE SITE
CONTEXT AERIAL &
SITE PLAN

APRIL 29, 2003

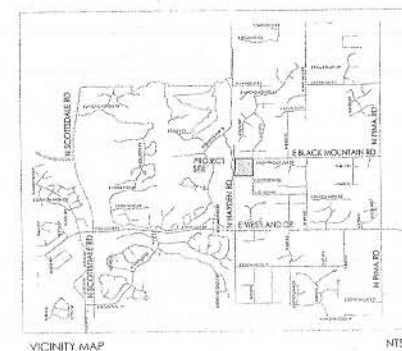


REVEGETATION NOTES:

- Plant species will match the original desert species found on the site prior to development. Densities for the revegetation planting shall also match those found on the site prior to development, as well as the surrounding desert. Densities for the revegetation plantings shall be approximately 1 plant per 20 sq. ft. using plants from the revegetation plant list.
- All revegetation shrubs to be placed on a temporary irrigation system until established. Trees to be placed on permanent valve.
- Boulders and rock features disturbed or scarred by construction and riprap shall be treated with a desert varnish (Ecorite or equal).
- All erosion prone areas will be stabilized using on-site native stone in the form of riprap to prevent on-site erosion.
- Cut and fill slopes shall be rounded to blend with the existing contours of the adjacent natural terrain.
- All designated protected plant material deemed salvageable by a City of Scottsdale approved salvage contractor shall be replanted on-site along the frontage of Hayden and Black Mountain Roads to fill in previously disturbed native areas. Refer to Native Plant Salvage Assessment for specific plant material and corresponding numbers. Final landscape plans will designate exact locations in which material shall be planted.

PLANT LEGEND

Botanical Name	Common Name	Container size
Trees		
Cercidium microphylla	Foothill Palo Verde	54" Box
Cercidium floridum	Blue Palo Verde	48/36" Box
Shrubs		
Larrea tridentata	Cresotebush	5 gallon
Ephedra triflora	Mormon Tea	5 gallon
Viguiera deltoidea	Goldeneye	5 gallon
Justicia californica	Chuparosa	5 gallon
Colandrea eriophylla	Pink Fairy Oster	1 gallon
Ambrosia deltoidea	Triangle Bursage	1 gallon
Sphaeralcea ambigua	Globe Mallow	1 gallon
Ericameria laevis	Turpentine Bush	1 gallon
Annuals/Perennials		
Boltonia multiradiata	Desert Marigold	1 gallon
Ptilostrophe cooperi	Paper Flower	1 gallon
Verbena goodenifolia	Sand Verbena	1 gallon
Melampodium sp.	Blackfoot Daisy	1 gallon
Succulents/Cactus		
Yucca baccata	Banana Yucca	15 gallon
Fouquieria splendens	Occilla	bareroot
Opuntia acanthocarpa	Staghorn Cholla	bareroot
Ferocactus wislizeni	Fishhook Barrel	5 gallon
Echinocereus engelmannii	Hedgehog Cactus	5 gallon
Carnegiea gigantea	Saguaro Cactus	bareroot



REVISIONS:



BLACK HILLS ENCLAVE

Parcel #: 216 - 47 - 012-A
 Description: NW4 NW4 NW4 EX N & E 40' ...
 Section Township Range: 12 5N 4E

PRELIMINARY NOT
 FOR CONSTRUCTION

LANDSCAPE PLAN

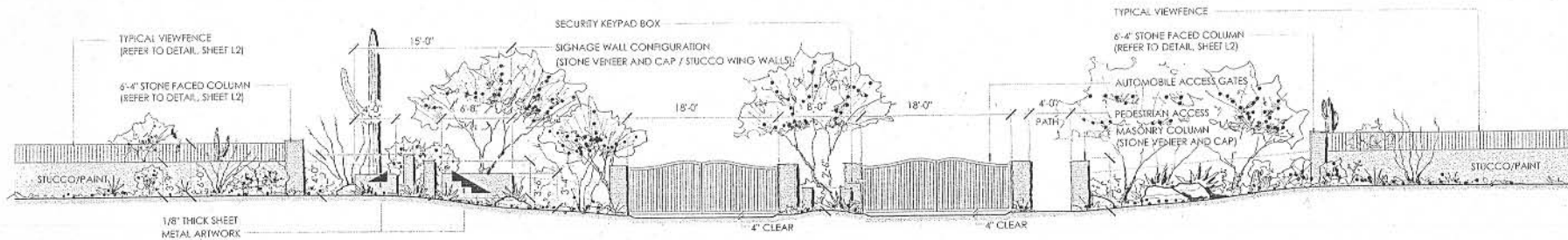
DESIGNER: BLL

DATE: 04/28/2003

SCALE: 1"=30'-0"

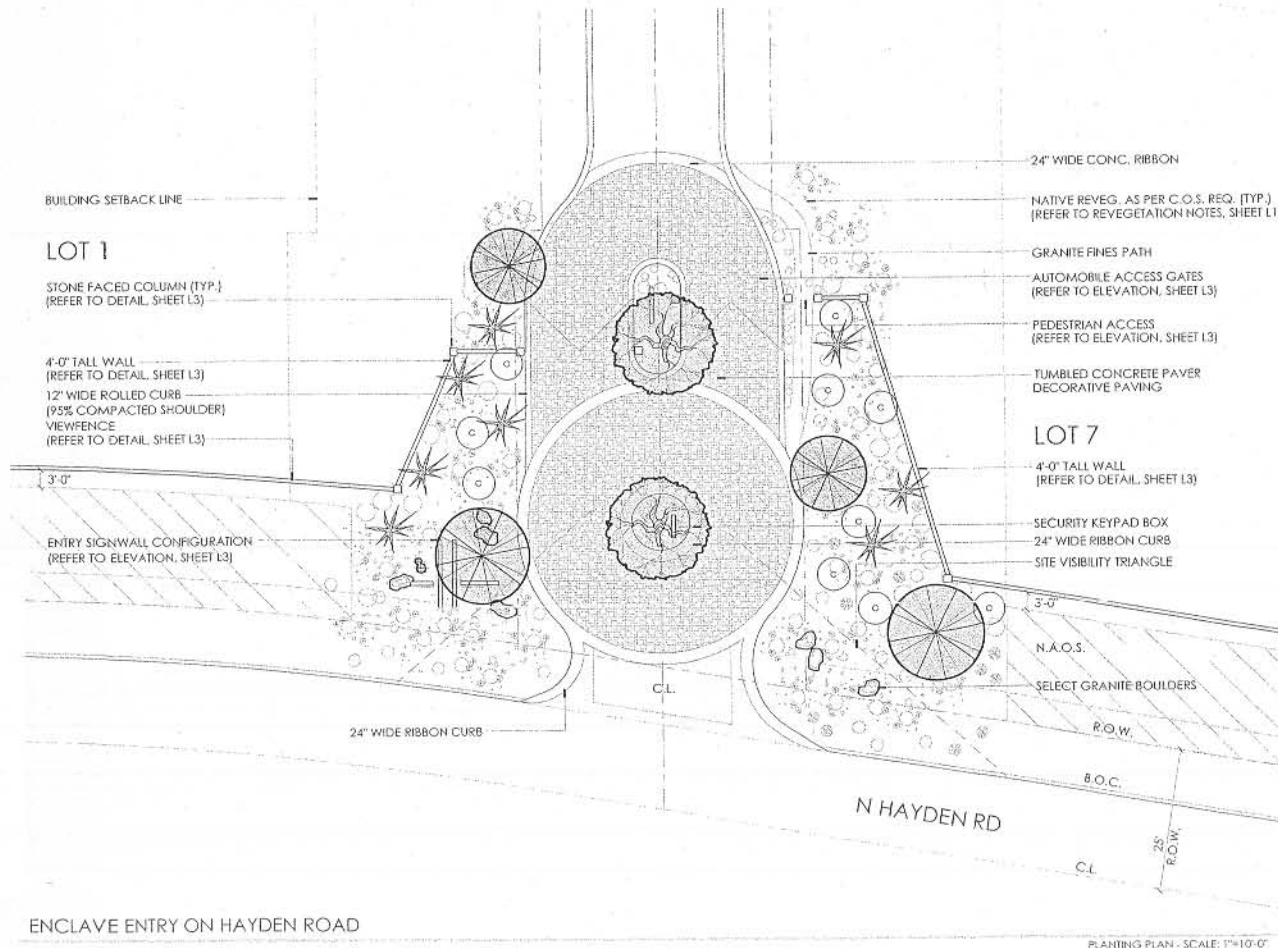
SHEET:

L1 OF 3



ENCLAVE ENTRY LOOKING EAST FROM HAYDEN ROAD

ELEVATION - NOT TO SCALE



PLANTING PLAN - SCALE: 1"=10'-0"

REVISIONS:



BLACK HILLS ENCLAVE
Parcel #: 216-47-012-A
Description: NW4 NW4 NW4 E4 NW4
Section Township Range: 12 S N 4 E

PRELIMINARY NOT
FOR CONSTRUCTION

ELEVATION/PLANTING
ENLARGEMENT
DESIGNER: BLL
DATE: 04.28.2003
SCALE:
SHEET:

12" WIDE ROLLED CURB

BUILDING SETBACK LINE

LOT 1

6'-4" TALL STONE FACED COLUMN (TYP.)
(REFER TO DETAIL, SHEET L3)

4'-0" TALL WALL
(REFER TO DETAIL, SHEET L3)

VIEWFENCE
TOP OF MASONRY: 3'-9" MINIMUM
TOP OF WROUGHT IRON: 6'-0" MINIMUM
FROM GRADE AT BASE OF OUTSIDE OF WALL
(REFER TO DETAIL, SHEET L3)

N.A.O.S.

ENTRY SIGNWALL CONFIGURATION
(REFER TO ELEVATION, SHEET L3)

ENCLAVE ENTRY ON HAYDEN ROAD

24" WIDE CONC. RIBBON

LOT 7

GRANITE FINES PATH

PEDESTRIAN ACCESS
(REFER TO ELEVATION, SHEET L3)

AUTOMOBILE ACCESS GATES
(REFER TO ELEVATION, SHEET L3)

TUMBLER CONCRETE PAVEMENT
DECORATIVE PAVING

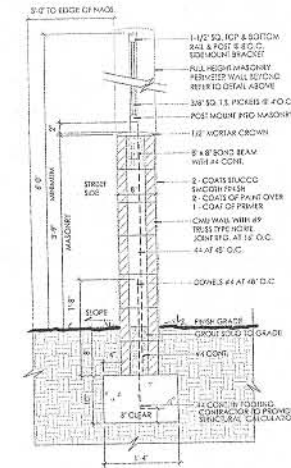
4'-0" TALL WALL
(REFER TO DETAIL, SHEET L3)

SECURITY KEYPAD BOX
24" WIDE RIBBON CURB
SITE VISIBILITY TRIANGLE

N.A.O.S.

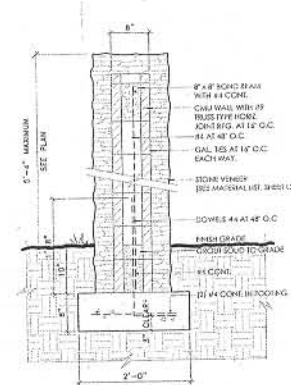
N HAYDEN RD

HARDSCAPE LAYOUT - SCALE: 1"=10'-0"



VIEWFENCE DETAIL

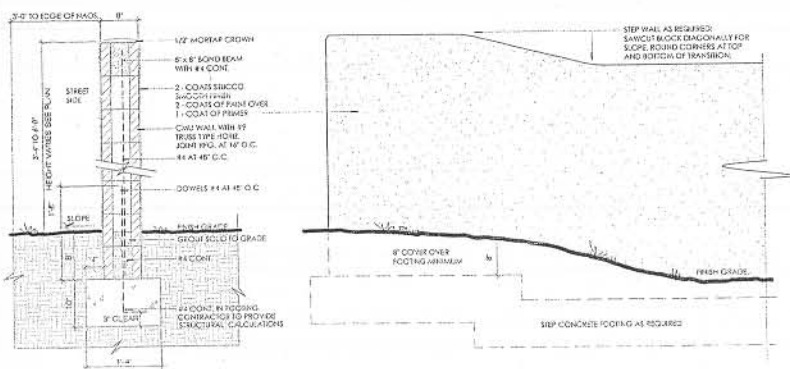
SCALE: 1"=1'-0"



STONE FACED WALL DETAIL

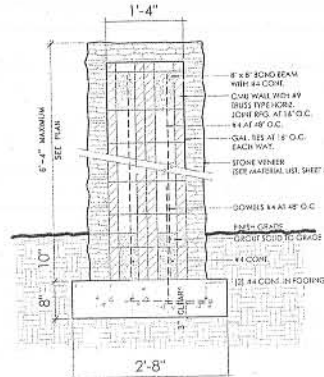
SCALE: 1"=1'-0"

COLORS, FINISHES AND MATERIALS
PAINT COLOR: DUNN EDWARDS SP2350 LOST SUMMIT
METAL COLOR: DUNN EDWARDS SP2170 MARSH MAVERICK
STONE VENEER: MANUFACTURER - CULTURED STONE
STYLE - SHALE PRO-FIT LEDGESTONE (PF-8014)
CONCRETE PAVEMENT: MANUFACTURER - BELGARD
STYLE - OUBURN MODULAR
COLOR - SILVER BLEND
GRANITE: COLOR - MADISON GOLD
SIZE - 1/2" MINUS 1/2" DEPTH



MASONRY PERIMETER WALL

SCALE: 1"=1'-0"



STONE FACED COLUMN DETAIL



REVISIONS:



NORTH

BLACK HILLS ENCLAVE

Parcel #: 216 - 47 - 012-A
Description: NW4 NW4 EX N & E 40' ..
Section Township Range: 12 5N 4E

PRELIMINARY NOT FOR CONSTRUCTION

HARDSCAPE

LAYOUT/DETAIL SHEET

DESIGNER: BILL

DATE: 04.28.2003

SCALE:

SHEET:

L2 OF 3

**RESIDENTIAL SUBDIVISION
STIPULATIONS FOR 14-PP-2003**

FINAL PLATS MUST BE PER THE APPROVED PRELIMINARY PLAT WITH THE MODIFICATIONS PER THE FOLLOWING STIPULATIONS TO OBTAIN PERMITS

SITE DESIGN:

1. Submit plans and elevations of entry feature for staff review and approval.
2. Final plat shall identify the use and maintenance of any land not used for residential lots.
3. Flagpoles, if provided, shall be one piece conical tapered.
4. Should the abandonment of portions of 81st Street and Black Mountain Road receive approval fro City Council, abandoned areas maybe incorporated into the subdivision to the satisfaction of city staff.

WALL DESIGN:

- 1. All fences and walls located adjacent to NAOS shall apply a minimum of 5 feet disturbance and show how the area will be revegetated on the landscape plan.*
- 2. All fences and walls located adjacent to NAOS shall be constructed as view fences with three (3) feet or less of solid, opaque wall above the natural grade. All fences and walls should undulate horizontally and vertically with topography, unless otherwise approved by the Development Review Board.*
3. All screen walls shall be 6 or 8-inch masonry block and shall match building texture and color, both sides.
4. The homeowners' association shall be responsible for the maintenance of the exterior perimeter walls. Note this requirement on the final plat.
5. The perimeter wall and landscaping shall be constructed with the first plat improvements.
6. No chain link fencing shall be allowed.
7. Submit elevations and details of perimeter walls for (staff/Development Review Board) review and approval.
8. Dooley wall fencing shall not be allowed for perimeter walls.
9. Perimeter walls shall be completely constructed prior to issuance of permits for any individual unit.

ATTACHMENT A

10. Perimeter walls with interior and exterior heights that differ more than 12 inches, as measured from natural grade, shall be shown on final improvement plans and is subject to staff review and approval.
11. Details and locations of sight walls proposed on top of retaining walls shall be submitted for staff review and approval at the time of final improvement plan submittal.

LANDSCAPING:

- 1. With the final plan submittal, the developer shall revise the landscape plan to match the approved Development Review Board site plan, to the satisfaction of Plan Review and Permit Services staff.*
- 2. With the final plan submittal, the developer shall revise the landscape plan to show caliper sizes of trees, in lieu of box sizes, to the satisfaction of Plan Review and Permit Services staff.*
- 3. All riprap shall be native stone indigenous to the site.*
- 4. All concrete drainage structures shall be integrally colored concrete (or other method subject to the approval of Plan Review and Permit Services staff) to blend with the colors of the surrounding natural desert, to the satisfaction of City staff.*
5. Provide low water consumptive plant materials.
6. Incorporate existing vegetation into the landscape design.
7. Provide only plant material indigenous to this site.
8. Landscape design and materials shall be arid to lush desert materials.
9. Non-indigenous plant materials, which have a potential of exceeding 20 feet in height, are not to be introduced on the site.
10. Upon removal of the salvageable native plants the salvage contractor shall submit a completed Native Plant Tracking Form as well as a list identifying the tag numbers of the plants surviving salvage operations to the City's Planning Inspector within 3 months from the beginning of salvage operations and/or prior to issuance of the Certificate of Occupancy.
11. Sight distance triangles and sight distance lines shall be shown on final plans for all intersections. Area within the safety triangle is to be clear of landscaping, signs, or other visibility obstructions with a height greater than 2 feet. Trees within the safety triangle shall have a canopy that begins at 7 feet in height upon installation. All heights are measured from nearest street line elevation.
12. No visible turf areas are permitted.

13. Retention/detention basins smaller than 20,000 square feet shall have a maximum water depth of 3 feet, and a 10:1 width to depth ratio with 4:1 maximum slope.
14. Retention/detention basin depth shall be maximum 3 feet water depth. Greater depths shall require Plan Review and Permit Services staff approval.
15. Retention/detention basins shall be constructed solely from the approved civil plans. Any alteration of the approved design (additional fill, boulders, etc.) shall require additional Plan Review and Permit Services staff review and approval.
16. Provide 8% slope away from walk or curb for 5' 0" along all streets.
17. All roadway medians required of this project shall be shown on final landscape plan submittal and shall be landscaped and maintained by project's owner for a period of three years from final acceptance by Field Services.
18. All rights-of-way adjacent to this property shall be landscaped and maintained by the property owner.
19. The landscape plan for any model home(s), if provided, shall be submitted for final plans review and approval.
20. Provide note on final landscape plans: Signs require separate approvals and permits.

IRRIGATION:

1. At the time of final irrigation plan submittal the applicant shall identify the location of backflow preventors and the means of screening to be provided.
2. A temporary irrigation system is required in revegetated NAOS areas. This system shall be disconnected once the plant material is established and shall not exceed a period of three years.

BOULDER FEATURES:

1. *Future proposals for development on boulders and rock outcrops meeting the Zoning Ordinance definition of "Boulder feature" by individual lot owners shall each be subject to the approval of the Development Review Board, in conformance with the Environmentally Sensitive Lands provisions of the Zoning Ordinance.*

NATURAL AREA OPEN SPACE (NAOS):

1. Provide a separate, dimensioned plan indicating the limits of construction to assure the (NAOS, drainage, vista corridor, and scenic corridor) remains natural - for field staff review and approval.

TRAFFIC STIPULATION REQUIREMENTS
CIRCULATION AND REFUSE

ROADWAY, INTERSECTION AND ACCESS DESIGN:

1. The developer shall design and construct the gated entrance in conformance to Figure 8.1-1 of the City's Design Standards and Policies Manual.
2. The internal streets shall be private. The private street tracts shall be dedicated to provide emergency and service vehicle access and public utility construction and maintenance.
3. An 8-foot wide public utility easement shall be dedicated along both sides of the internal streets. The 8-foot wide easements may be reduced or eliminated upon approval of the public utility companies.
4. Before any certificate of occupancy is issued for this site, the developer shall complete the half-street construction of Black Mountain Road from Hayden Road to 81st Street. The developer shall match the existing Hayden Road full-street construction for curb, gutter, and road width, unless Hayden Road is less than 23 feet as measured from back-of-curb to back-of-curb. If Hayden Road is less than 23 feet, then the developer shall match Hayden Road for curb and gutter and construct a minimum width of 23 feet as measured from back-of-curb to back-of-curb for Black Mountain Road.
5. Before any certificate of occupancy is issued for this site, the developer shall construct a half-street for 81st Street along the site frontage. The half-street construction shall consist of a minimum of 20 feet of pavement.

INTERNAL CIRCULATION:

1. The developer shall provide internal circulation that accommodates emergency and service vehicles with an outside turning radius of 45 feet and inside turning radius of 25 feet.

STRIPING AND SIGNAGE PLAN:

1. All incidental signing and striping required by site roadway improvements shall be included on the roadway paving plans.

SIGHT DISTANCE:

1. Sight distance triangles must be shown on final plans to be clear of landscaping, signs, or other visibility obstructions between 2 feet and 7 feet in height, and 6 inches maximum width or diameter.
2. Sight distance easements shall be dedicated over sight distance triangles.
3. Refer to the following figures: 3.1-13 and 3.1-14 of Section 3.1 of the City's Design Standards and Policies Manual, published December 1999.

REFUSE COLLECTION:

1. If individual (80-gallon) refuse containers are not planned for the development, the site's trash enclosures shall be constructed to City of Scottsdale's standards.

DRAINAGE AND FLOOD CONTROL STIPULATIONSDRAINAGE:

1. COMPLIANCE. The following stipulations are provided to aid the developer in submittal requirements, and are not intended to be all-inclusive of project requirements. The developer shall submit engineering design reports and plans that demonstrate compliance with City ordinances, the Scottsdale Revised Code and the Design Standards and Policies Manual.
2. FINAL DRAINAGE REPORT. With the final improvement plans submittal, the developer shall submit a final drainage report and plan, subject to Plan Review and Permit Services Division approval. Before the approval of final improvement plans by City staff, the developer shall submit two (2) hard copies of the complete final drainage report and plan. In addition, the final drainage report and plan shall:
 - a. Include final calculations and detailed analyses that demonstrate consistency with the conceptual drainage report and plan accepted in concept by the Current Planning Services Division.
 - b. Provide calculations and details that demonstrate how the storm water storage requirement will be met. The drainage exhibit shall show the location, configuration, depth of water and extent of the high water surface elevations.
 - c. Show all upstream contributing basin areas, including calculations and analyses for the peak runoff entering the site. Include a discussion of how the lowest floor elevations are established.

- d. Discuss how storm water storage basins will be drained (by gravity out-fall, pump, etc.). Provide bleed-off calculations that demonstrate the discharge rate and time to drain.
 - e. Demonstrate that storm water runoff exiting this site has a safe place to flow.
 - f. Include an exhibit that indicates where the site lies within the FEMA designated areas and define all pertinent FEMA designations.
3. STORM WATER STORAGE REQUIREMENT. Prior to final plan approval, the developer shall submit a final drainage report and plan, including calculations for the storm water storage volume required, V_r , and volume provided, V_p , using the 100-year, 2-hour storm event. The design of the storage basin capacity shall account for any proposed landscaping improvements. The landscaping improvements within the basins shall not reduce the capacity of the basins under the required volume.
4. BASIN LOCATION. Basins shall be located within easements, or common tracts with easements, dedicated for the purposes of storm water storage.
5. BASIN CONFIGURATION. Basin side slopes shall not be steeper than 4:1, except where retaining walls are used along one side of the basins, and basin depths shall not exceed 3 feet.
6. BASIN OUT-FALL. Storm water storage basin bleed-off rates shall be set so that the storage basins do not drain completely in less than 24 hours. Storage basins must drain completely within 36 hours.
7. DRAINAGE OF BASIN. Infiltration of storm water through the basin floor is not acceptable as the sole means of draining the basin. Storm water storage basins should be designed to meter flow to the historic out-fall point. Where no out-fall exists, or metering is not possible, other methods of discharge such as pumps, etc. may be considered.
8. UTILITY CONFLICT COORDINATION. Before improvement plan approval by the Plan Review and Permit Services Division, the developer shall submit a signed No Conflict form (not required for City-owned utilities) from every affected utility company.
9. GRADING AND DRAINAGE PLAN. A final grading and drainage plan shall be submitted to the Plan Review and Permit Services Division. The grading and drainage plan shall include, but not be limited to, the following:
- a. Benchmark datum shall be based on North American Datum of 1988.
 - b. Provide a base plan sheet with topography at 2-foot minimum contour lines.
 - c. Contours, or sufficient spot elevations, shall be shown beyond the limits of construction as required to sufficiently reflect the impact of development on the abutting improvements

and or rights of way.

- d. Show top of curb elevations in front of each lot, at grade breaks, and at intersection corners.
 - e. Show street cross slope direction (use arrows).
 - f. Show all easements including, but not limited to, slope, public utility, vehicular non-access, waterline, sanitary sewer line, etc.
 - g. Show all drainage facilities; culverts, storm drains, storm water storage basins (with storage volume required, V_r , and storage volume provided, V_p , noted on the improvement plans).
 - h. Show $Q_{(100)}$ at culvert inlets and at storm water entrance/exit points of the parcel boundaries.
 - i. Show the limits of inundation for all washes having a flow rate of 50 cfs or more using the peak runoff from the 100-year, 6-hour storm event.
 - j. Note: "Rip-rap shall be placed so that a dense, uniform mass of durable, angular stones with no apparent voids or pockets is configured."
 - k. Show all walls, such as perimeter, screening and retaining walls.
10. OFF-SITE RUNOFF. All development shall be designed to satisfactorily convey peak discharge for the 100-year, 6-hour storm event through the site without significant damage to structures.
11. ARIZONA DEPARTMENT OF ENVIRONMENTAL QUALITY (ADEQ) REQUIREMENTS. All construction activities that disturb one or more acres shall obtain coverage under the Arizona Pollutant Discharge Elimination System (AZPDES) Construction General Permit. To gain coverage, operators of construction sites must:
- a. Submit a Notice of Intent (NOI) to ADEQ;
 - b. Prepare a Stormwater Pollution Prevention Plan (SWPPP) and keep a copy on site;
 - c. With the improvement plan submittal to the Plan Review and Permit Services Division, the developer shall submit two copies of the NOI and a copy of the Storm Water Pollution Prevention Plan.
 - d. Send a Notice of Termination (NOT) to ADEQ when construction is completed.

Contact ADEQ at 602-771-4449 for further information. Forms are available from the City of Scottsdale One Stop Shop, 7447 East Indian School Road, Suite 100 or from ADEQ's web site: <http://www.adeq.state.az.us/environ/water/permits/stormwater.html#const>

12. SECTION 404 PERMITS. With the improvement plan submittal to the Plan Review and Permit Services Division, the developer's engineer must certify that it complies with, or is exempt from, Section 404 of the Clean Water Act of the United States. [Section 404 regulates the discharge of dredged or fill material into a wetland, lake, (including dry lakes), river, stream (including intermittent streams, ephemeral washes, and arroyos), or other waters of the United States.]
13. DUST CONTROL PERMITS. Prior to the start of grading on sites 1/10 acre or larger, a Dust Control Permit (earth moving permit) must be obtained from Maricopa County Division of Air Pollution Control. Call the county (602-506-6700) for fees and application information.

DRAINAGE STRUCTURES:

1. RETAINING WALLS. Provide a structural design report for retaining walls, including but not limited to, calculations for active forces based on an associated geotechnical analysis of the soils and soils condition.

VERIFICATION OF COMPLIANCE

1. REQUIRED SPECIAL INSPECTIONS. Before the approval of the improvement plans, the Plan Review and Permit Services Division staff shall specify those drainage facilities that shall be required to have Special Inspections. See Section 2-109 of the Design Standards and Policies Manual for more information on this process.
2. CONDITION FOR ISSUANCE OF GRADING & DRAINAGE PERMIT. Before the issuance of a Grading & Drainage Permit:
 - a. The developer shall certify that it has retained an Inspecting Engineer by completing Part I (Project Information) and Part II (Owner's Notification of Special Inspection) of the Certificate of Special Inspection of Drainage Facilities (CSIDF); and,
 - b. The Inspecting Engineer shall complete Part III (Certificate of Responsibility) of the CSIDF.
3. CONDITION FOR ISSUANCE OF CERTIFICATE OF OCCUPANCY AND/OR LETTER OF ACCEPTANCE. Before the issuance of a Certificate of Occupancy and/or a Letter of Acceptance:
 - a. The Inspecting Engineer shall complete the Certificate of Compliance form.
 - b. The developer shall submit all required Special Inspection Checklists and the completed Certificate of Compliance form to the Inspection Services Division. The Certificate of Compliance form shall be sealed, signed and dated by the Inspecting Engineer, and shall be attached to all required Special Inspection Checklists completed by the Inspecting Engineer.
4. AS-BUILT PLANS. City staff may at any time request the developer to submit as-built plans to the Inspection Services Division.
 - a. As-built plans shall be certified in writing by a registered professional civil engineer, using as-built data from a registered land surveyor.
 - b. As-built plans for drainage facilities and structures shall include, but are not limited to, streets, lot grading, storm drain pipe, valley gutters, curb and gutter, culverts, inlet and outlet structures, berms, open channels, and storm water storage basins as determined by City staff.

TRACTS AND EASEMENTS:

1. DEDICATIONS. Drainage and flood control easements shall be dedicated to the City to the limits of inundation for all FEMA regulatory floodways to the extent of the 100-year base flood elevation.
 - a. All drainage and flood control easements, including easements for storm water storage, shall be dedicated on the final plat with maintenance responsibility specified to be that of the Homeowners Association and or property owner.
 - b. Before any building permit is issued for the site, any additional drainage and flood control easements determined necessary due to final design analysis and proposed improvements, shall be dedicated to the City.
2. MAINTENANCE RESPONSIBILITY. Maintenance responsibility shall be that of the Homeowners Association and or property owner. All easement dedications shall demonstrate conformance to the ordinances and the Scottsdale Revised Code – Section 37-45. In addition all easement dedications shall:
 - a. Specify the right of the City to enter into the easement for the purposes of the removal of obstructions and or impedance to the watercourse that are deemed to be a public nuisance, when so designated by the Floodplain Administrator.
 - b. Note that the Homeowners Association and or property owner shall pay actual costs for the removal of obstructions and or impedance to the watercourse.

WATER AND WASTEWATER STIPULATIONSWATER & WASTEWATER:

1. COMPLIANCE. The following stipulations are provided to aid the developer in submittal requirements, and are not intended to be all-inclusive of project requirements. Water and sewer lines and services shall be in compliance with City Engineering Water and Sewer Ordinance Requirements, the Scottsdale Revised Code and Sections 4 and 5 of the Design Standards and Policies Manual.
2. COMPLIANCE. All water and sewer lines shall be constructed in accordance with the City's Water and Wastewater Master Plans.
3. BASIS OF DESIGN REPORT (WATER). Before the improvement plan submittal to the Plan Review and Permit Services Division, the developer shall obtain approval of the Water Basis of Design Report from the City's Water Resources Department. The report shall conform to the draft Water and Wastewater Report Guidelines available from the City's Water Resources Department. The basis of design report and plan shall:

- a. Identify the location, size, condition, and availability of existing water lines and water related facilities such as valves, service lines, fire hydrants, etc.
 - b. Evaluate the project's water demands and their impact on the existing water system.
 - c. Determine the need for any additional water lines and water related facilities to support the proposed development.
 - d. Conform to the City's Integrated Water Master Plan.
 - e. Identify the timing of and parties responsible for construction of all water facilities.
4. BASIS OF DESIGN REPORT (WASTEWATER). Before the improvement plan submittal to the Plan Review and Permit Services Division, the developer shall obtain approval of the Wastewater Basis of Design Report from the City's Water Resources Department. The report shall conform to the draft Water and Wastewater Report Guidelines available from the City's Water Resources Department. The basis of design report and plan shall:
 - a. Identify the location of, size, condition, and availability of existing sanitary sewer lines and wastewater-related facilities.
 - b. Evaluate the project's wastewater demands and their impact on the existing wastewater system.
 - c. Determine the need for any additional wastewater lines and related facilities to support the proposed development.
 - d. Conform to the City's Wastewater System Master Plan.
 - e. Identify the timing of and parties responsible for construction of all wastewater facilities.
5. WATER SAMPLING STATIONS. Prior to the approval of the improvement plans by the Plan Review and Permit Services Division, all water sampling stations shall be shown and labeled on the improvement plans.
 - a. Water sampling station locations are subject to review and approval by the Water Quality Division. Contact Mr. Craig Miller at 480-312-8743 in the City of Scottsdale Water Resources Department for questions regarding the status of the review.
 - b. The Water Quality Division shall distribute copies of the approved sampling station locations to the Plan Review and Permit Services Division.
6. CLEARANCE FROM WALLS. Where walls cross or run parallel with public water mains, public sewer mains, or public fire lines the following shall apply:
 - a. For walls constructed parallel to these pipes, the walls shall be a minimum of six (6) feet from the outside diameter of the pipe.
 - b. For walls constructed across or perpendicular to these pipes, the walls shall be constructed with gates or removable wall panels for maintenance and emergency access.
7. PRESSURE FLOW TEST. At the time of final plan submittal, the developer shall submit an engineer's certification of adequate pressure and flow to the highest fire sprinkler floor elevation and a fire flow test of the water system.

8. MANHOLE LOCATION. Manholes shall not be located on lots.
9. ARIZONA DEPARTMENT OF ENVIRONMENTAL QUALITY REQUIREMENTS (ADEQ). The developer shall be responsible for conformance with ADEQ regulations and requirements for submittals, approvals, and notifications. The developer shall demonstrate compliance with Engineering Bulletin #10 Guidelines for the Construction of Water Systems, and applicable chapters of the Arizona Administrative Code, Title 18, Environmental Quality. In addition:
 - a. Before approval of final improvement plans by the Plan Review and Permit Services Division, the developer shall submit a cover sheet for the final improvement plans with a completed signature and date of approval from the Maricopa County Environmental Services Department (MCESD).
 - b. Before commencing construction, the contractor or developer shall provide evidence to City staff that a Certificate of Approval to Construct and/or Provisional Verification of General Permit Conformance has been approved by MCESD.
 - c. Before building permits are issued, the developer shall submit to the City a Certificate of Approval of Construction and/or Verification of General Permit Conformance signed by the MCESD and a copy of the as-built drawings.
 - d. Before issuance of Letters of Acceptance by the City's Inspection Services Division, the developer shall provide to the City a final set of as-built mylars of the improvements.

TRACTS AND EASEMENTS:

1. UTILITIES IN TRACTS. All utilities between lots shall be located entirely within a dedicated tract (20' minimum width).
2. EASEMENTS AND MAINTENANCE RESPONSIBILITY. All associated water and sewer line easements shall be shown on the final plat with maintenance responsibility specified with the final plat notes.
3. RESPONSIBILITY FOR LANDSCAPING IMPROVEMENTS. Indemnity agreements shall be required when substantial improvements and (or) landscaping are proposed within a utility easement. The agreement shall acknowledge the right of the City to access the easement as necessary for service or emergencies without responsibility for the replacement or repair of any improvements or landscaping within the easement.

ORDINANCE REQUIREMENTS

Some Things You Should Know About Ordinance Requirements:

- ◆ Some of the Ordinance requirements that may be relevant to your project are included in the following pages as helpful information.
- ◆ There may be some Ordinance requirements, which apply to your project that aren't included here.
- ◆ Any appeals must be made in writing to the CITY CLERK'S OFFICE.

ENGINEERING ORDINANCE REQUIREMENTS**ALL STIPULATIONS FROM THE ASSOCIATED REZONING OR USE PERMIT CASES CONTINUE TO APPLY.**DRAINAGE AND FLOOD CONTROL:

1. STORM WATER STORAGE REQUIREMENT. Storm water storage is required on-site for all site runoff generated by a 2-hour, 100-year frequency design storm.
2. HISTORICAL FLOW. Off-site runoff must enter and exit the site as it did historically.
3. STORM WATER DISCHARGE. Storm water storage basins should be designed to meter flow to historic out-fall point. Where no out-fall exists (or metering is not possible), other methods of discharge may be considered.
4. STORM WATER RUNOFF. Storage basins must drain completely within 36 hours.
5. BASIN LOCATION. Storm water storage basins may not be constructed within utility easements or dedicated right-of-way (exceptions may be granted with written approval from appropriate utility company).
6. STREET CROSSINGS. Watercourse crossings for roads shall be designed to provide for 100-year access to all lots by at least one route. Accessibility will be considered to exist if it can be shown by the engineer that at the time of the peak flow, the depth of flow over the road will be no greater than 1 foot.
7. SECTION 404 PERMITS. Approval from the Army Corps of Engineers under the conditions of SECTION 404 PERMIT of the Clean Water Act may be required where proposed construction is adjacent to or within washes.
8. DEDICATIONS AND EASEMENTS. All drainage easements and easements for storm water storage shall be dedicated on the final plat, and by separate instrument as required and agreed to by City staff, with maintenance the responsibility of the property owner and or the Homeowners Association.

REFUSE REQUIREMENTS:

1. Refuse collection methods and arrangements shall be made prior to final plans approval.

STREET LIGHTS:

1. Public street lights shall be installed in accordance with City of Scottsdale's Revised Code, Section 48-149. The developer shall be responsible for coordinating a street layout and cost estimate with the utility company. The layout and cost estimate must be submitted at the time of final plan submittal. The developer shall pay for street light installation costs prior to issuance of building permits or final plat recording.

2. The developer shall execute an agreement to participate in an Improvement District for maintenance and operation of street lights. The Street Light Improvement District will be formed at the time of final plat approval by City Council.

TRAFFIC ORDINANCE REQUIREMENTS:

1. Streets and other related improvements:

STREET NAME	STREET TYPE	R.O.W. DEDICATION	ROADWAY IMPROVEMENT	CURB TYPE	BIKEPATH/ SIDEWALK
Black Mountain Road	ESL Local Collector	Existing per Case No. 6-AB-2003	Half-street construction; See Note A	Match the existing curb type on Hayden	NA
81 st Street	ESL Local Residential	Existing per Case No. 6-AB-2003	Half-street construction; See Note B	Ribbon Curb	NA
Internal Street	ESL Local Residential	40-foot wide tract (private)	23 feet BC-BC	Ribbon Curb	NA

Notes:

- A. Before any certificate of occupancy is issued for this site, the developer shall complete the half-street construction of Black Mountain Road from Hayden Road to 81st Street. The developer shall match the existing Hayden Road full-street construction for curb, gutter, and road width, unless Hayden Road is less than 23 feet as measured from back-of-curb to back-of-curb. If Hayden Road is less than 23 feet, then the developer shall match Hayden Road for curb and gutter and construct a minimum width of 23 feet as measured from back-of-curb to back-of-curb for Black Mountain Road.
- B. Before any certificate of occupancy is issued for this site, the developer shall construct a half-street for 81st Street along the site frontage. The half-street construction shall consist of curb, gutter, and a minimum of 20 feet of pavement.

ENGINEERING WATER & SEWER ORDINANCE REQUIREMENTS

WATER DEVELOPMENT ORDINANCE

1. WATER PROVIDER. City of Scottsdale is responsible for supplying the water to this project.
2. HEALTH AND SAFETY REQUIREMENTS. The water system for this project shall meet required health standards and shall have sufficient volume and pressure for domestic use and fire protection.
3. DEVELOPMENT FEES. The developer shall pay a development fee for City water supply in accordance with City ordinance. This fee shall be paid at the time, and as a condition, of the issuance of a building permit, or if the development does not require a building permit, prior to

connection to the city water system. All questions may be referred to Mike Mahoney a 480-312-5686, Water Resources Analyst, in the City of Scottsdale Water Resources Department.

4. WATER METER FEES. Prior to the issuance of any building permit, the developer shall pay a Water Meter Fee for connection to the City water system in accordance with City Ordinance.

SEWER DEVELOPMENT ORDINANCE

1. DEVELOPMENT FEE. The developer shall pay a development fee for City sanitary sewer in accordance with City ordinance. This fee shall be paid at the time, and as a condition, of issuance of a building permit, or if the development does not require a building permit, prior to connection to the City sewer system. All questions may be referred to Mike Mahoney at 480-312-5686, Water Resources Analyst, in the City of Scottsdale Water Resources Department.
2. SEPTIC SYSTEM. Permission to construct a septic system shall be obtained in writing from the Water Resources Department. Private sewage disposal systems shall comply with all laws and regulations of the State of Arizona, Maricopa County and the City of Scottsdale.
3. CONNECTION TO CITY SEWER. Disconnection of septic and connection to the City sewer system is required within one year of when the City sanitary sewer system becomes available.

FINAL PLANS SUBMITTAL REQUIREMENTS

DETAILED INFORMATION REGARDING CONSTRUCTION PLAN PREPARATION FOR PLANS SUBMITTED TO THE CITY OF SCOTTSDALE FOR APPROVAL CAN BE FOUND IN THE SCOTTSDALE DESIGN STANDARDS AND POLICIES MANUAL. PLAN SHEET DIMENSIONS SHALL CONFORM TO THE FOLLOWING SIZES:

- * LANDSCAPING/IRRIGATION PLANS: 24" X 36" (MYLAR ORIGINALS)
- * CIVIL PLANS: 24" X 36" (MYLAR ORIGINALS)

EACH ITEM LISTED WITHIN THESE SUBMITTAL REQUIREMENTS MUST BE INCLUDED. A COPY OF THIS LIST MUST ALSO ACCOMPANY YOUR FIRST SUBMITTAL. INCOMPLETE SUBMITTALS WILL NOT BE ACCEPTED.

ALL CONSTRUCTION PLANS, REPORTS, ETC., MUST BE IN CONFORMANCE WITH THOSE APPROVED BY THE DEVELOPMENT REVIEW BOARD.

THE FOLLOWING INFORMATION MUST APPEAR ON THE COVER SHEET:

- ◆ BOOK, MAP AND PARCEL NUMBER OF PROPERTY ON WHICH IMPROVEMENTS ARE BEING PROPOSED.
- ◆ SITE ADDRESS.
- ◆ PLAN CHECK NUMBER AND ALL APPLICABLE CASE NUMBERS MUST APPEAR WITHIN THE BOTTOM OR RIGHT-HAND MARGIN IN 1/2-INCH LETTERS.
- ◆ NAME, ADDRESS AND PHONE NUMBER OF THE OWNER AND THE PARTY PREPARING THE PLANS.

DIGITAL SUBMITTAL REQUIREMENT (EFFECTIVE MAY 1, 1999)

1. IF THE NUMBER OF LOTS APPROVED BY THE DEVELOPMENT REVIEW BOARD IS DIFFERENT FROM THE ORIGINAL ELECTRONIC SUBMITTAL, A REVISED DIGITAL FILE OF THE PRELIMINARY PLAT IS REQUIRED AT THE TIME OF FINAL PLANS.
2. DIGITAL SUBMITTAL OF FINAL PLAT DUE WITH MYLARS. SEE PRELIMINARY PLAT SHOPPING LIST ATTACHMENTS ("NOTIFICATION OF DIGITAL SUBDIVISION PLAT SUBMITTAL," "SUBDIVISION PLATS CAD LAYERING GUIDELINES," AND "SUBDIVISION PLATS CAD STANDARDS AND NAMING CONVENTIONS") FOR FORMATTING DETAILS AND GENERAL INFORMATION.

PLANNING PLANS SUBMITTAL REQUIREMENTS

1. Plans shall be submitted on the following paper sizes:
 - a) LANDSCAPING/IRRIGATION PLANS: 24" x 36"
 - b) CIVIL PLANS: 24" x 36"
2. Provide intent as to maintenance responsibility of all landscaped areas. Provide note on the working drawings.
3. Provide a landscape plan of all existing trees and/or cactus for staff analysis of trees and/or cactus to remain or to be transplanted. Indicate size and specimen.
4. Provide a final plat with the following information:
 - a) Zoning of property.
 - b) Vicinity map.
 - c) Property lines and dimensions, street names, centerline of street.
5. Provide landscaping and irrigation plans with the following information:
 - a) Plant palette (type, size, quantity)
 - b) Retention/detention basin slope
 - c) Perimeter wall elevations with the following information:
 - i) Height of perimeter wall above finished grade (both interior and exterior).
 - ii) Colors of all exterior materials (as required by Sec. 7.854 E of the Zoning Ordinance/matching those approved by Development Review Board).
 - d) Provide catalog cut sheets of all on-site lighting fixtures in common areas.
6. The applicant shall provide on an unrecorded supplemental document the total square footage of each lot less the square footage of any areas dedicated to natural area open space (NAOS), and tracts at the time of final plat submittal for use by the Water Department for goal billing.

PLANNING ORDINANCE REQUIREMENTS

[NOTE: This site is subject to the ESLO 2 ordinance requirements approved in 2003.](#)

LOT DESIGN:

1. All lots shall abut a public, or private street furnishing satisfactory access thereto.

NATURAL AREA OPEN SPACE (NAOS):

1. All areas calculated as NAOS shall be a minimum of 30 feet in width, except along street frontage which shall have a minimum width of 20 feet.
2. Submit a detailed graphic and calculation worksheet indicating the required amounts of NAOS based on the Zoning Ordinance at the time of final plans submittal. If any of the designated NAOS areas will be disturbed by cuts and fills, drainage swales, or culverts, or other construction, submit a detailed graphic and calculation worksheet depicting areas within the NAOS which require revegetation due to construction disturbance.
3. All areas calculated as undisturbed NAOS shall be left untouched, except that additional plant materials, indigenous to the site only, may be introduced to NAOS as approved by the Plan Review and Permit Services staff in compliance with the Zoning Ordinance.
4. FINAL PLANS SHALL NOT BE APPROVED until a protection program indicating construction boundaries, and techniques used to insure that NAOS is not disturbed during construction, has been submitted and field approved by Plan Review and Permit Services staff.
5. Submit a detailed graphic and calculation worksheet indicating the required and provided amounts of NAOS at the time of final plans submittal.

LANDSCAPING:

1. All plant materials in right-of-way shall be on the Department of Water Resources (DWR) low water plant list for the Phoenix Active Management Area (AMA) [and the City of Scottsdale Indigenous plants for environmentally sensitive lands plant list](#).
2. Provide documentation required for issuance of a Native Plant Permit as required in Chapter 46 of City Code and outlined in the Zoning Ordinance. The Native Plant Permit is a separate submittal and approval. (See page 12 for specific submittal requirements). Contact the City's Native Plant Officer at 312-7080 to initiate the process.
3. If models homes are provided they shall comply with Section 49-79.1 of the City Code limiting turf to 10 percent of the first 9,000 square feet and 5 percent of any lot area in excess of 9,000 square feet to a maximum of 43,560 square feet of the total lot size.

4. Non-indigenous plant materials, which have a potential of exceeding 20 feet in height, are not to be introduced on site, per the Zoning Ordinance.
5. Provide 6-inch vertical concrete curb between any driveways or parking areas and landscape areas.

GRADING:

1. Cuts and fills exceeding limits outlined in (Sec. 204-1 B. of the "Design Guidelines & Policies for Environmentally Sensitive Lands shall/may) require Development Review Board approval.

DEVELOPMENT STANDARDSSUBDIVISION NAME The BouldersCASE # 14-PP-2003ZONING R1-43 ESL PCD PRD ESL **X**

	ORDINANCE REQUIREMENTS	AMENDED STANDARDS	MAXIMUM ESLO REDUCTION %
A. MIN. LOT AREA	43,000 SF		
B. MIN. LOT WIDTH			
1. Standard Lot	150 Feet		
2. Flag Lot	20 Feet		
C. MAXIMUM BUILDING HEIGHT	24 Feet (ELSO 2)		
D. MIN. YARD SETBACKS			
1. FRONT YARD	40 Feet		
• FRONT (to face of building)	40 Feet		
• FRONT (to face of garage)	40 Feet		
• FRONT (corner lot, side street)	40 Feet		
• FRONT (corner lot, adjacent to key lot, side street)	40 Feet		
• FRONT (double frontage)	40 Feet		
2. SIDE YARD			
• Minimum	20 Feet		
• Minimum aggregate	40 Feet		
3. REAR YARD			
• Standard Depth	35 Feet		
• Min. Depth (% of difference which can be occupied)			
E. DISTANCE BETWEEN BUILDINGS (MIN)			
1. Accessory & Main	10 Feet		
2. Main Buildings/Adjacent Lots	40 Feet		
F. MAXIMUM WALL HEIGHT			
1. FRONT	3 Feet		
2. SIDE	8 Feet		
3. REAR	8 Feet		
4. Corner side not next to key lot	8 Feet		
5. Corral fence height (on prop line)	6 Feet		
G. DEVELOPMENT PERIMETER SETBACKS			
H. APPLICABLE ZONING CASES			
I. NOTES & EXCEPTIONS			

Construction Document/Final Plat Submittal Requirements

A copy of these construction document submittal requirements must accompany your first plan review submittal. Provide each item listed on the submittal checklists at your first submittal.

Incomplete submittals will not be accepted.

All Landscaping/Irrigation, Civil plan sheets must be 24" X 36" size, including Mylar originals. All Building sheets shall be a minimum 24" X 36" size.

The cover sheet must contain the following information:

1. County Assessor parcel number of property on which improvements are being proposed.
2. Full street address assigned by the City of Scottsdale Records Department
3. Provide space for City of Scottsdale Plan check number in the right hand margin. All applicable case numbers must be in 1/4-inch letters.
4. Provide the name, address, phone number, and email address of the owner, the party preparing the plans, the architect, and the developer.

Detailed information regarding construction plan preparation to the City of Scottsdale can be found in the City of Scottsdale's DESIGN STANDARDS AND POLICIES MANUAL. You may access the manual online at <http://www.scottsdaleaz.gov/dspm> - or call the One Stop Shop at 480-312-7080.

All construction plans, reports, etc., must be in conformance with those approved by the Development Review Board.

Listed below are items to be completed before construction document submittal. Provide documentation of completion of these requirements at the time of construction document submittal:

<input type="checkbox"/>	_____
<input type="checkbox"/>	_____
<input type="checkbox"/>	_____
<input type="checkbox"/>	_____
<input type="checkbox"/>	_____

Civil Improvement Plan Submittal Requirements
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Each item listed on this checklist must be submitted at your first construction document submittal, along with a copy of this list. **Incomplete submittals will not be accepted. All plans must be signed and sealed.** If necessary, the plan reviewer may require additional information and plans after the first submittal.

Required Plan Size: 24" X 36"

Minimum Horizontal Scale: 1" = 20'

Minimum Vertical Scale: 1" = 2'

CIVIL

The following items are the basic minimum requirements necessary to submit construction documents for review. Civil plans and building plans must be submitted at the same time, in separate packages.

1. A sealed engineer's statement on the cover sheet of all civil plan sets stating that, "The engineer of record on these plans has received a copy of the approved stipulations for this project and has designed these plans in conformance with the approved stipulations."
2. Title Report and Letter of Update (not more than 60 days old)
3. Provide the following:
 - ☒ Two Copies of Completed 404 Certification Form
 - ☒ Two Copies of the Notice of Intent (NOI)
 - ☒ Copy of the No-Conflict Form (Original must be signed by associated utility before plan approval)

4. IMPROVEMENT PLANS

Provide one (1) set that includes the following:

- ☒ Grading and Drainage Plan
- ☒ Water Plans
- ☒ Sewer Plans
- ☒ Paving Plans (including striping & signage)
- ☐ Traffic Signal Plans
- ☐ Striping & Signage Plans
- ☐ Structural Plans (including details & calculations)
- ☐ Preliminary Plat
- ☐ Final Plat (for reference only)
- ☐ ALTA Survey
- ☐ Map of Dedication

5. EASEMENTS/DEDICATIONS

- ☒ See the Traffic Stipulation Requirements and the Traffic Ordinance Requirements for traffic-related easement and dedication requirements. See the Drainage and Flood Control Stipulations for requirements on drainage and flood control easements.

6. ENGINEER'S ESTIMATES (for payment in-lieu)

- ☐ Street improvements ☐ Signalization

7. REFERENCE DOCUMENTS

- | | | |
|---------------|------------------------------------|--|
| Drainage | <input type="checkbox"/> Master** | <input checked="" type="checkbox"/> Final |
| Water | <input type="checkbox"/> Master** | <input checked="" type="checkbox"/> Basis Of Design ** |
| Sewer | <input type="checkbox"/> Master ** | <input checked="" type="checkbox"/> Basis Of Design ** |
| Circulation | <input type="checkbox"/> Master ** | <input type="checkbox"/> Final |
| Signalization | <input type="checkbox"/> Master ** | <input type="checkbox"/> Final |

**Note: Requires copies of approved reports before submittal of Improvement Plans for Plan Review. Developer shall, as a minimum, provide a copy of the cover sheet with City Staff signatures of acceptance.

8. OTHER

- ☐ Geotechnical Report
- ☐ Structural Report
- ☐ The completed Stormwater Storage Waiver Request Form (must be signed by City Staff)
- ☒ Stormwater Pollution Prevention Plan
- ☐ _____
- ☐ _____

PLANNING

Provide one (1) set of the selected Improvement Plans (#5 above), and the following items:

- ☒ Landscape & irrigation plans
- ☒ Slope Analysis
- ☒ NAOS graphic & calculation worksheet
- ☒ Native plant program, or confirmation of compliance
- ☐ Fountain/Water feature details and elevations

Final Plat Submittal Requirements
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All final plats must be approved by the City Council. A final plat will be placed on the City Council's agenda only after staff has received a complete submittal, including the following items:

1. ALTA Survey
2. Title Report (less than 60 days old)
3. NAOS graphic & calculation worksheet
4. Copy of preliminary plat
5. Completed abandonment/vacation of easement application (if applicable)
6. Digital Submittal
7. 8-1/2" X 11" transparency of the staff approved final plat must be submitted to four (4) weeks prior to the scheduled City Council date.

The applicant will be notified once the final plat has been tentatively placed on the City Council meeting agenda.